

Maine Building Officials & Inspectors Association

Thursday, July 13, 2023
Maine Municipal Association
Augusta, ME

Agenda

- Manufactured Housing Definitions
- State–Certified Modular Homes
 - Jurisdiction
 - Permit Requirements
 - M.R.S. Title 10 and M.R.S. Title 30-A
 - Codes and Standards
 - Relocation of State-Certified Modular Homes
 - Third Party Inspection Agencies
 - Certificate of Occupancy

Agenda

- HUD–Code Homes
 - Jurisdiction
 - Permit Requirements
 - M.R.S. Title 10
 - New Home Standards
 - Relocation of HUD-Code Homes
 - Used Home Installation Standards
 - Health & Safety Standards for Used Manufactured Housing

Manufactured Housing Board Staff

- Executive Director: Peter Holmes
 - (207) 624-8678 / Peter.T.Holmes@maine.gov
- Senior Manufactured Housing Inspector: Ryan Chandler
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- Secretary Specialist: Heather Greenleaf
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Maine Manufactured Housing Board

Declaration of Purpose

- The Manufactured Housing Board was established to ensure that manufactured housing is safe from hazardous defects and provide a safe and sanitary environment for occupants residing in manufactured housing communities. (1977)
- The primary responsibilities of the Board are to examine and license qualified applicants, to investigate complaints against licensee's and to take appropriate disciplinary action against noncompliance with its statutes and rules.

Manufactured Housing Act

Title 10, Section 9002(7)(A)

- HUD-code homes, which are those units constructed after June 15, 1976 that the manufacturer certifies are constructed in compliance with the HUD standard, meaning structures, transportable in one or more sections that, in the traveling mode, are 8 body feet or more in width and 40 body feet or more in length or, when erected on site, are 320 or more square feet, and are built on a permanent chassis and designed to be used as dwellings, with or without permanent foundations, when connected to the required utilities, including the plumbing, heating, air-conditioning and electrical systems contained therein.

Manufactured Housing Act

Title 10, Section 9002(7)(B)

- State-certified modular homes, which are those units that the manufacturer certifies are constructed in compliance with this Act and rules, meaning structures, transportable in one or more sections, that are not constructed on a permanent chassis and are designed to be used as dwellings on foundations when connected to required utilities, including the plumbing, heating, air-conditioning or electrical systems contained therein. “Manufactured Housing” does not include modular homes constructed at an educational facility by students pursuant to rules adopted by the Board.

Manufactured Housing Act

Title 10, Section 9002(7)(C)

- Pre-HUD-code homes, which are those units constructed prior to June 15, 1976, meaning structures, transportable in one or more sections, that are 8 body feet or more in width and are 32 body feet or more in length and are built on a permanent chassis and designed to be used as dwellings, with or without permanent foundations, when connected to the required utilities, including the plumbing, heating, air-conditioning or electrical systems contained therein.

Tiny Homes

(MUBEC – LD 1981)



Park Models / RV's

American National Standards Institute (ANSI) A-119.5



On-Frame Modular Homes

No new sales after June 17, 2019

No new installations after December 31, 2019



State-Certified Modular Homes



State-Certified Modular Home Jurisdiction

- Maine Manufactured Housing Board has jurisdiction on the envelope of modular homes which include one- and two-family dwellings and townhouses.
- Code Enforcement Officers have jurisdiction on the foundation, unfinished second floors, exterior stairs, decks, porches, garages, Etc. (Apartments, condo's, offices)

Modular Home – Permitting Stamped Plans and Set Manual

- Code Enforcement Officers can require:
 - Copies of stamped home plans
 - General construction, fire safety, structural details, mechanical details, plumbing details & electrical details
 - Set manual / Installation instructions

Manufactured Housing Act

Title 10, Section 9006(2)

- Manufactured housing which is manufactured, sold, installed or serviced in compliance with this chapter shall be exempt from all state or other political subdivision codes, standards or regulations which regulate the same matters. (1981)

Planning and Land Use Regulation

Title 30-A, Section 4358(2)(E)

- Location of Manufactured Housing
 - Notwithstanding any other provision of law, any modular home that meets construction standards for state-certified manufactured homes adopted pursuant to Title 10, Section 9042 must be allowed in all zones where other single-family homes are allowed. (1995)

Maine Uniform Building & Energy Code

Title 10, Section 9724(5)(A)(1)

- The requirements of the Maine Uniform Building and Energy Code do not apply to:
 - Log homes or manufactured housing as defined in Chapter 951;
 - Post and beam or timber frame construction; or
 - Warehouses or silos used to store harvested crops.

Modular Codes and Standards

- Amended: February 5, 2018 – Effective Date: August 5, 2018
 - 2015 International Residential Code W/ Exceptions (2009)
 - 2015 Uniform Plumbing Code W/ Exceptions (2009)
 - 2017 NFPA 70 – National Electrical Code (2011)
 - 2012 NFPA 54 – National Fuel Gas Code (2011)

Modular Codes and Standards

- 2011 NFPA 31 – Standard for the Installation of Oil Burning Equipment W/ Exceptions (Same)
- 2013 NFPA 211 – Standard for Chimneys, Fireplaces, Vents and Solid Fuel-Burning Appliances (2010)
- NFRC 100-2010 – Procedure for Determining Fenestration Product U-Factors (Same)
- 2016, 10 CFR, Part 430, Subpart B, Appendix N – Measuring Energy Consumption of Furnaces and Boilers (2010)
 - Oil Furnace: 83% Gas Furnace: 80%
 - Oil Boiler: 84% Gas Boiler: 82%

Modular Codes and Standards

- 2015 International Residential Code W/ Exceptions
 - Townhouses (R302.2)
 - Each townhouse shall be considered a separate building and shall be separated by fire-resistance-rated wall assemblies meeting the requirements of Section R302.1 for exterior walls.
 - Automatic Fire Sprinkler Systems (R313)

Energy Specifications Table

Minimum Insulation R-Value				Maximum Fenestration for Exterior Doors U-Factor		Maximum Fenestration for Windows ¹ U-Factor	Maximum Fenestration for Skylights U-Factor
Ceilings	Roof/Ceilings	Walls	Floors	Entrance	Specialty		
R-38	R-38	R-21	R-19	.35	.45	.35	.6



Unfinished Second Floors

- Homes delivered with an unfinished second floor must be insulated as described below:
 - Stair enclosures – The ceilings of the stair enclosures must be insulated to R-30. The walls of stair enclosures must be insulated to R-11.
 - Doors – To prevent heat loss into the unfinished space, doors within stair enclosures must be either an exterior door or insulated by any means, including temporary means, to R-19.
 - Ceilings – The floor/ceiling assembly between the first and second stories must be insulated to R-30, except that the ceiling area beginning at the outside walls and extending to the knee walls must be insulated to R-38.









Stair Geometry

- The maximum riser height shall be $8 \frac{1}{4}$ inches. ($7 \frac{3}{4}$ ")
- The greatest riser height within any flight of stairs shall not exceed the smallest by more than $\frac{3}{8}$ inch.
- The minimum tread depth shall be 9 inches. (10")
- The greatest tread depth within any flight of stairs shall not exceed the smallest by more than $\frac{3}{8}$ inch.
- Guards shall not be constructed with horizontal rails or other ornamental patterns that result in a ladder effect. (Has been removed)

MATR'LS FIGURED FOR STRINGERS

STRINGERS 2x12 SPF #1/2

TREADS 2x12 SPF #1/2

RISERS 1/2 PLY

TOTAL RISE = 101 1/2"

12 RISERS @ 7 13/16"

1 RISER @ 7 3/4"

FOUNDATION PRINT
FLOOR FRAMING
REFERENCE ONLY
FOR TYP. BASEMENT STAIRS

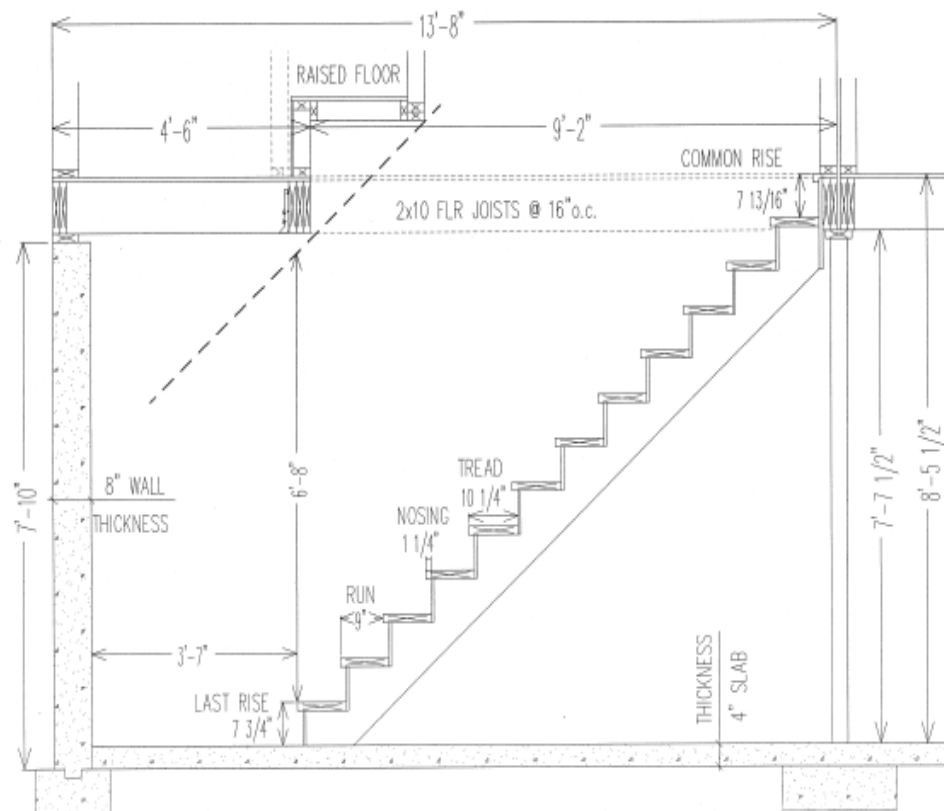
THIS STAIR IS DESIGNED TO COMPLY WITH
THE SUBPARAGRAPHS R311.5.3.1 THRU
R311.5.3.3 OF THE MAINE STATE CERTIFICATION
RULES FOR MANUFACTURED HOUSING.
(02-385 CHAPTER 110)

8-1/4" MAX RISE // 9" MIN. RUN FOR BASEMENT STAIRS

IN THE STATE OF MAINE, FOR BASEMENT HEIGHTS FROM 7'3"
TO 8'0", BASEMENT STAIRS ARE A COMPONENT OF THIS
DESIGN WITH A MAXIMUM RISER HEIGHT OF 8 -1/4"; A
MINIMUM TREAD DEPTH OF 9" AND A 1" NOSING WILL BE
PROVIDED ON ALL TREADS WITH TREAD WIDTH LESS THAN 10".

PLEASE FIND THE APPLICABLE CODE REFERENCE @

<http://www.maine.gov/sos/cec/rules/02/385/385c110.doc>



NOTE: ALL DIMENSIONS ARE
CRITICAL TO HGT OF FND FLOOR

KEISER
INDUSTRIES INC.
P.O. BOX 9000 RTE. 121
OWFORD, ME 04270
TEL: (207) 539-8863
FAX: (207) 539-4446

DWG NO.
KIM 3963

LAYER NAME:
FOUND

DATE:
10/19/10

BASEMENT STAIR

R:\DRAWINGS\JOBS\KIM\01RANCH\3963
LAST PRINTED: 10/19/2010 AT 10:24 AM

DRAWN BY:
RT

REVISIONS

DATE	ITEM

SCALE:
1/2"=1'-0"

SHEET NO.

4A

Radon Mitigation

- Radon entry routes such as openings around objects that penetrate the floor assemblies must be sealed.
- The manufacturer must install a 3" minimum diameter vent pipe up through the building floors at least 2' into the attic space and capped below the roof.
- All exposed and visible interior radon vent pipes must be identified with at least one label on each floor and in accessible attics.

Radon Mitigation

- To provide for future installation of an active depressurization system, an electrical circuit terminated in an approved box must be installed by the manufacturer in the attic or other anticipated location of vent pipe fans.
- Vent pipes must be tested at the manufacturing facility for tightness. Fully assembled vent pipes must be field tested by the dealer or installer.



Air Admittance Valves

- Air admittance valves must be installed after the drainage, waste and vent testing has been performed.
- The air admittance valve must vent only fixtures that are on the same floor level and connect to a horizontal branch drain.
- Access must be provided to all air admittance valves. The valve must be located within a ventilated space that allows air to enter the valve.
- Within each plumbing system, a minimum of one stack vent or vent stack must extend outdoors to the open air.

TWIN RIVER
GLASS

TrueFit System 4200 2"

[illegible]

MANUFACTURER'S DATA PLATE		FACTORY INSTALLED EQUIPMENT	
		EQUIPMENT	MODEL NO.
		On Site	By Others
Manufacturer:	KBS Builders Inc.	Material	
Address:	300 Park Street	Coating	71/1
City, State, Zip:	South Paris, Maine 04261	Range (ft.)	71/1
1. LISTED PRODUCT AS USED BY BUYER		Color	71/1
Model:	COLONIAL	Refrigerant	71/1
Temporary Classification:	Single Family	Water Model	71/1
Temperature / Serial / Unit:	KBS-2436	Dish Model	71/1
Season of Installation:	05/08/15	Shipped	71/1
Unit Date / Phase / Approval:	05/18/15	Multi-Voltage / Type	71/1
Permitted Use / Type:	n/a	Special Conditions	
Electric Rating:	200 amps / 240 Volts		
Full Voltage Code:	1060 Volts / 1 Second		
Water Supply / Tank Provision:	60 psi / 15 Minutes		
Power Design / Line Size:	40 psi	Shipping Weight:	Approx. 24,000 lbs.
Ground Design / Line Size:	50 psi	Net Unit Weight:	465,335 / 465,336 / 465,337 / 465,338 / 465,339
Flowing Water / Flow Rating:	100 GPM	Net Shipping Weight:	212,000 (Est.) / 410,000 (Est.) (Varying)
Flowing Water / Static Head:	100 GPM		
Flow / Static Head:	0.020 / 0.050		
	30 DEG F		
	0.048		

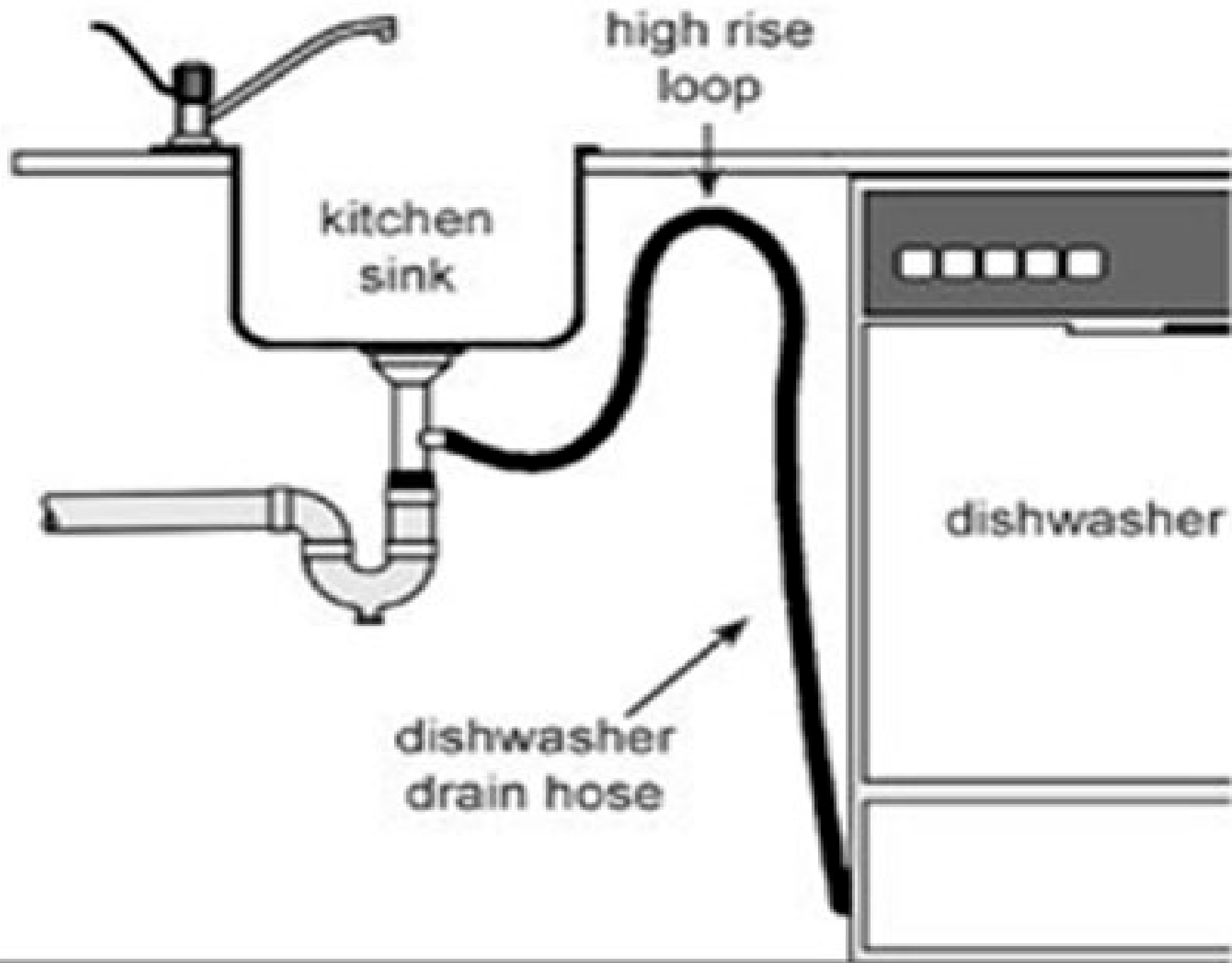
[illegible]

This SEAL remains

MSN	DSN 21210	IA
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Dishwasher Waste Connections

- Dishwashers shall discharge separately into a trap, trapped fixture, tailpiece of the kitchen sink or the dishwasher connection of a food waste grinder.
- The waste line from the dishwasher shall be looped as high as possible and be secured fastened to the underside of the sink rim or countertop.



Plumbing Permit Fees

- No per fixture fee.
- Modular home – factory components: \$40 fee
- Relocated state-certified modular homes shall be considered as new conventional stick-built structures and a plumbing fixture fee shall be charged. This does not apply to new model homes that have not been lived in upon relocation to the site of the first retail purchaser.

PLUMBING APPLICATION

Maine DHHS/CDC – Division of Environmental & Community Health

PROPERTY ADDRESS				ISSUING MUNICIPAL OFFICE			
City, Town, or Plantation				Town/City			
Street/Subdivision Lot #				Permit #		Total Fee \$	
PROPERTY OWNER INFORMATION				Date Issued		Double Fee	
Name (Last, First)							
Applicant Name (Last, First)				Local Plumbing Inspector Signature		License #	
OWNER/APPLICANT MAILING ADDRESS				FEES		State \$	
Street				LOCATION		Map #	
City						Lot #	
State		Zip Code		Internal plumbing fixtures and piping may not be installed until a permit is issued by the Local Plumbing Inspector. The permit authorizes the owner or installer to install the plumbing system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.			
OWNER/APPLICANT STATEMENT				CAUTION: INSPECTION REQUIRED I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules Application.			
I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector(s) to deny a permit.							
Signature of Owner/Applicant		Date		LPI Signature		Date (Rough-In)	
Copy:		Property Owner <input type="checkbox"/>		Town <input type="checkbox"/>		State <input type="checkbox"/>	
						Date (Final)	

PERMIT INFORMATION							
This application is for: New Plumbing <input type="checkbox"/> Relocated Plumbing <input type="checkbox"/>		Type of structure to be served: Single Family Residence <input type="checkbox"/> Modular or Mobile Home <input type="checkbox"/> Multiple Family Dwelling <input type="checkbox"/> Other (specify below) <input type="checkbox"/>		Plumbing to be installed by:			
				Master Plumber <input type="checkbox"/>		License # <input type="text"/>	
				Oil Burner Installer <input type="checkbox"/>		License # <input type="text"/>	
				Mfd. Housing Rep. <input type="checkbox"/>		License # <input type="text"/>	
				Public Utility Rep. <input type="checkbox"/>		License # <input type="text"/>	
				Property Owner <input type="checkbox"/>			

Column 1 – Hook-Up & Relocation		Column 2 – Fixtures		Column 3 – Fixtures		State of Maine Department of Health and Human Services/ Center for Disease Control and Prevention Environmental & Community Health – Subsurface Wastewater 286 Water Street State House Station 11 Augusta, ME 04333 207-287-2070 HHE-211 Revised 7/24/2018
Maximum 1 Hook-Up		Type of Fixture		Qty		
Hook-Up (a) <input type="checkbox"/> <i>Hook-up to public sewer in those cases where the connection is not regulated and inspected by the local sanitary district.</i>		Hosebib/Sillcock				
		Floor Drain				
		Urinal				
		Drinking Fountain				
Hook-Up (b) <input type="checkbox"/> <i>Hook-up to an existing subsurface wastewater disposal system.</i>		Indirect Waste				
		Treatment Softener, Filter, etc.				
		Grease/Oil Separator				
Piping Relocation <input type="checkbox"/> <i>Relocation of sanitary lines, drains, and piping without new fixtures.</i>		Roof Drain				
		Bidet				
		Other: <input type="text"/>				
				Water Heater		

Total Column 1 <input type="text"/>		+	Total Column 2 <input type="text"/>		+	Total Column 3 <input type="text"/>		=	Enter Total Fixtures / Hook-Ups Below			
PERMIT TRANSFER ONLY <input type="checkbox"/> \$10.00										Total Fixtures / Hook-Ups		<input type="text"/>
										Per-Fixture Fee		<input type="text"/>
										TOTAL PERMIT FEE		<input type="text"/>

Plumbing/Subsurface Wastewater Disposal System Permit Fee Schedule

Disposal System Components	Fee	State Share (25%)	DEP Surcharge
1. Complete Non-Engineered System	\$250.00	\$62.50	\$15.00
2. Primitive / Limited System (graywater & alt toilet)	\$100.00	\$25.00	\$15.00
3. Alternative Toilet	\$50.00	\$12.50	NA
4. Non-Engineered Treatment Tank	\$150.00	\$37.50	NA
5. Holding Tank	\$100.00	\$25.00	\$15.00
6. Non-Engineered Disposal Field	\$150.00	\$37.50	NA
7. Separated Laundry System	\$35.00	\$8.75	\$15.00
8. Complete Engineered System	\$200.00	\$50.00	NA
9. Engineered Treatment Tank (only)	\$80.00	\$20.00	NA
10. Engineered Disposal Field (only)	\$150.00	\$37.50	NA
11. Pre-Treatment	NA	NA	NA
12. Miscellaneous Components	\$30.00	\$7.50	NA
First-Time System Variances	\$20.00	\$5.00 *	NA
Replacement System Variances	\$20.00	NA	NA
Seasonal Conversion Permit	\$50.00	\$12.50	NA

Internal Plumbing Permits

Minimum fee, includes up to 4 fixtures/hook-ups	\$40.00	\$10.00
Individual fixtures, each, over 4	\$10.00	\$2.50
Mobile or Modular Home – factory components	\$40.00	\$2.50 ^{\$10.00}
Hook up to public sewer	\$10.00	\$2.50
Hook up to existing subsurface system	\$10.00	\$2.50
Piping relocation with no new fixtures	\$10.00	\$2.50
Permit transfer	\$10.00	\$2.50

* The State only receives a 25% share of variance fees for *first-time system variances requiring state and local plumbing inspector approval.*

Also included in this packet:

- Tips and reminders for filling-out and submitting permits and fees to the Subsurface Wastewater Program
- Internal Plumbing Permit Application HHE-211 (blank)
- Subsurface Wastewater Disposal System Permit Application HHE-200 (blank)
- Subsurface Wastewater Disposal System Variance Request HHE-204 (blank)

Relocation of State-Certified Modular Homes

- When a State-certified modular home is relocated, the local enforcement agency must accept the home in accordance with these rules.
- A home which has not been modified or altered in any way may not be required to conform with the current code.
 - A home which has been modified or altered by more than 50% of the replacement value of the home must be required to be brought into full conformance with the current code.
 - A home which has been modified or altered by less than 50% of the replacement value of the home must have only the modified or altered portion brought into conformance with the current code.

Modular Housing

Third Party Inspection Agencies – Certification

- Prior to leaving the factory, all homes must be certified that they meet all codes and standards adopted by the Board.
- Certification shall be evidenced by the attachment of a seal to each dwelling unit (one seal per home).
- The Manufactured Housing Staff must approve all building systems and QA programs.

This SEAL remains the
property of
THE STATE OF MAINE
MANUFACTURED
HOUSING BOARD

SAMPLE



This seal certifies compliance with the Regulations for the State
Certification of Manufactured Housing. Manufacturer certifies to
compliance.

LIC #	OP	D
MSN	DSN 15028	IA



SAMPLE
STATE OF MAINE

MHB № 27573

NEW MANUFACTURED HOME WARRANTY

This SEAL remains the property of THE STATE OF MAINE MANUFACTURED HOUSING BOARD

10 M.R.S.A., Section 1404. Written warranty: contents

A statutory warranty is established under which both the manufacturer and the dealer certify that to the best of their knowledge, the new home is free from any substantial defects in materials and workmanship. Specifically, this warranty provides the following:

1. **Defects.** That the new home is free from any substantial defects in materials or workmanship;
2. **Corrective action.** That the manufacturer or dealer or both shall take appropriate corrective action at the site of the new home in instances of substantial defects in materials or workmanship, which become evident within one year from the date of delivery of the new home to the consumer, provided the consumer or his transferee gives written notice of such defects to the manufacturer or dealer at their business address not later than one year and ten days after date of delivery;
3. **Liability.** That the manufacturer and dealer shall be jointly and severally liable to the consumer for the fulfillment of the terms of warranty, and the consumer may notify either one or both of the need for appropriate corrective action in instances of substantial defects in materials or workmanship;
4. **Name, address and phone number of manufacturer.** That the name, address and phone number of the manufacturer and the dealer where the consumer must mail or deliver written notice of defects to either the dealer or the manufacturer, or both, shall be provided to the consumer;
5. **Responsibility.** That while the manufacturers of any or all appliances may also issue their own warranties, the primary responsibility for appropriate corrective action under the warranty rests with the dealer and manufacturer, and the consumer should report all complaints to the dealer and manufacturer initially; and
6. **Warranty supplemental.** That this statutory warranty is in addition to any express warranty provided by the manufacturer or dealer and any warranty created by state or federal law, including the implied warranties of merchantability and fitness for a specific purpose (11 M.R.S.A., Section 2-316(5)). This warranty shall be in addition to and not in derogation of all other rights and privileges which such consumer may have under any other law or instrument. The manufacturer or dealer shall not require the consumer to waive any of the rights provided by this warranty.

If after contacting both the dealer and manufacturer concerning potential defects in your home and these defects remain

INSTALL NO [REDACTED]



STATE OF MAINE

MANUFACTURED HOUSING BOARD

35 STATE HOUSE STATION, AUGUSTA, ME 04333

HOME INSTALLATION WARRANTY

THIS SEAL REMAINS THE PROPERTY OF THE MANUFACTURED HOUSING BOARD

☐ New Mobile (HUD Code) ☐ Modular (State Certified)

- A. HUD label number (if applicable) and Serial number: _____
B. State Certification Seal number (Modular Homes Only): _____
C. Maine Warranty Seal number (All Homes): _____
D. Maine State Sales Tax number: _____
E. Dealer name: _____
F. Installer's name: _____
G. Installer's address: _____
H. Installer's license #: _____ Telephone () _____
I. Date Installed: _____
J. Customer Name and physical address where home is located: _____

_____, Maine
I, _____ of _____ duly attest
that the above manufactured home has been installed in accordance to the Installation Standards required by the State of
Maine Manufactured Housing Board.

Signature of Installer: _____

10 M.R.S.A. §1404-A. Installation Warranty

The installer or the installer and the dealer, when the dealer is responsible for the installation, shall provide a written warranty with each new manufactured housing unit installed for sale. The installer shall complete and affix this seal to the home at the time of installation.

1. **Materials and workmanship.** That the installation is free from any substantial defects in materials or workmanship;
2. **Corrective action.** That the installer or the installer and the dealer, when the dealer is responsible for the installation, shall take appropriate corrective action at the site of the manufactured housing in instances of substantial defects in materials or workmanship that become evident within one year from the date of the installation of the manufactured housing if the buyer or the buyer's transferee gives written notice of the defects to the installer or the installer and the dealer, when the dealer is responsible for installation, at the installer's or the dealer's and the dealer's business addresses no later than one year and 10 days after the date of installation;
3. **Liability.** That the installer or the installer and the dealer, when the dealer is responsible for the installation, are liable to the buyer for the fulfillment of the terms of the warranty; and
4. **Name, address, and phone number of installer.** The name, address and phone number of the installer or the installer and the dealer, when the dealer is responsible for the installation, to whom written notice of defects must be mailed or delivered by the buyer.

If you have a problem with your home, you should first contact your installer or dealer. If the problem is not resolved by the installer or dealer, you can contact the **Manufactured Housing Board** at (207) 624-8612.

Yellow Copy – Manufactured Housing Board

White Copy – Retain for Your Records

Seal – Affix to Home



STATE OF MAINE
FACTURED HOME WARRANTY

STATE OF MAINE MANUFACTURED HOUSING BOARD

Warranty: contents

der which both the manufacturer and the dealer certify that to the best of their
al defects in materials and workmanship. Specifically, this warranty provides the

free from any substantial defects in materials and workmanship;
manufacturer or dealer or both shall take appropriate corrective action at the site of the
materials or workmanship, which become evident within one year from the date of
vided the consumer or his transferee gives written notice of such defects to the
not later than one year and ten days after date of delivery;
and dealer shall be jointly and severally liable to the consumer for the fulfillment
ify either one or both of the need for appropriate corrective action in instances of

Number of manufacturer. That the name, address, and phone number of the
r must mail or deliver written notice of defects to either the dealer or the
consumer;

manufacturers of any or all appliances may also issue their own warranties, the
on under the warranty rests with the dealer and manufacturer, and the consumer
acturer initially; and

is statutory warranty is in addition to any express warranty provided by the
state or federal law, including the implied warranties of merchantability and
316(5)). This warranty shall be in addition to and not in derogation of all other
nder any other law or instrument. The manufacturer or dealer shall not require
s warranty.

acturer concerning potential defects in your home, and these defects remain

This SEAL remains the
property of
THE STATE OF MAINE
MANUFACTURED
HOUSING BOARD



This seal certifies compliance with the Regulations for the State
Certification of Manufactured Housing. Manufacturer certifies to
compliance.

LIC # 025	OP PA	D 3/3/05
MSN 02-0301095AB	DSN14726	IA 575861



Manufactured Housing Act

Title 10, Section 9042(3)

- New manufactured housing that is manufactured, brokered, distributed, sold, installed or serviced in compliance with this chapter is exempt from all state or other political subdivision codes, standards, rules or regulations that regulate the same matters. A building permit or certificate of occupancy may not be delayed, denied or withheld on account of any alleged failure of new manufactured housing to comply with any code, standard, rule or regulation from which the new manufactured housing is exempt under this subsection. (1993)

Manufactured Housing Act

Title 10, Section 9042(5)(A)

- The State or a political subdivision of the State may deny a certificate of occupancy for any certified manufactured housing when, **in the exercise of reasonable judgment**, the State or the political subdivision of the State determines that an imminent and direct risk of serious physical injury or death would exist in the normal use of the manufactured housing. (1999)

Manufactured Housing Act

Title 10, Section 9042(5)(B)

- If the certificate of occupancy for certified manufactured housing is denied, the State or a political subdivision of the State shall promptly provide the applicant for the certificate of occupancy with written notice of the denial. The notice must describe each reason for the denial of the certificate of occupancy in sufficient detail to allow the applicant to correct each deficiency noted. The State or a political subdivision of the State shall simultaneously provide a copy of the notice to the Board. (1999)

HUD-Code Homes



New HUD-Code Home Jurisdiction

- Manufactured Housing Board has jurisdiction on the foundation, envelope and installation of new HUD-code homes.
- Code Enforcement Officers have jurisdiction on, exterior stairs, decks, porches, garages, on-site structures, Etc.

New HUD-Code Home – Permitting Plans and Set Manual

- Code Enforcement Officers can require:
 - Copy of generic home plan
 - On-site structures attached to the home require the manufacturer's written and stamped approval or be designed and approved by a registered engineer or registered architect.
 - Set manual / Installation instructions

Manufactured Housing Act

Title 10, Section 9006(2)

- Manufactured housing which is manufactured, sold, installed or serviced in compliance with this chapter shall be exempt from all state or other political subdivision codes, standards or regulations which regulate the same matters. (1981)

Installation of HUD Homes

Title 10, Section 9002(6)

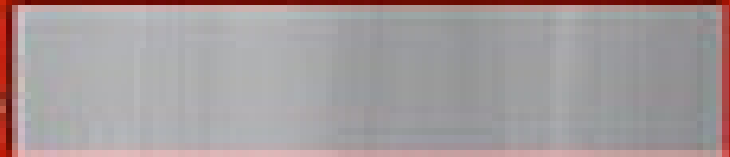
- For manufactured housing as defined in Subsection 7, Paragraphs A and C, “Installation” also includes the connection to **existing** electrical, oil, gas, water, sewage and similar systems that are necessary for the use of the manufactured housing for dwelling purposes.

New HUD-Code Home Construction Standards

- Homes are constructed to the Federal Manufactured Housing Construction and Safety Standards (MHCSS)
 - Last updated in early 2000's

HUD Certification Label

AS EVIDENCED BY THIS LABEL NO.



THE MANUFACTURER CERTIFIES TO THE BEST OF THE
MANUFACTURER'S KNOWLEDGE AND BELIEF THAT THIS
MANUFACTURED HOME HAS BEEN INSPECTED IN ACCORD-
ANCE WITH THE REQUIREMENTS OF THE DEPARTMENT OF
HOUSING AND URBAN DEVELOPMENT AND IS CONSTRUCTED
IN CONFORMANCE WITH THE FEDERAL MANUFACTURED
HOME CONSTRUCTION AND SAFETY STANDARDS IN EFFECT
ON THE DATE OF MANUFACTURE. SEE DATA PLATE.

HUD Data Plate

MANUFACTURER ADDRESS

Plant Number

Date of Manufacture **HUD Label No.(s)**

Manufacturer's Serial Number and Model Unit Designation

Design Approval by (D.A.P.I.A.)

This manufacturer home is designed to comply with the Federal manufactured home construction and safety standards in force at time of manufacture.
(For additional information, consult owner's manual.)

The factory installed equipment includes:

Equipment	Manufacturer	Model Designation
For heating		
For air cooling		
For cooking		
Refrigerator		
Water Heater		
Washer		
Clothes Dryer		
Dishwasher		
Garbage Disposal		
Fireplace		

HOME CONSTRUCTED FOR ☐ Zone I ☐ Zone II ☐ Zone III

Home has also been designed for the higher wind pressure and anchoring requirements required for Windstorm areas and should not be located north of the latitude in Wind Zones II and III, unless same and its anchoring and foundation system have been designed for the increased requirements listed for Exposure B in ASHRAE 15-88.

Home has _____ Add-on _____ Roofs equipped with storm shutters or other protective coverings for windows and/or door openings. For homes designed to be located in Wind Zones II and III, which have not been built with shutters or equivalent covering devices, it is strongly recommended that this home be made ready to be equipped with these devices in accordance with the method recommended in manufacturer's instructions.

BASIC WIND ZONE MAP

GN ROOF LOAD ZONE MAP North 40 PSF South 20 PSF Middle 30 PSF Other PSF

COMFORT HEATING

This manufacturer's home is designed to comply with the requirements of the Federal Manufactured Home Construction and Safety Act for all locations within HUD value zone _____ (See map at bottom).

Heating equipment manufacturer and model (see list at left)

The above heating equipment has the capacity to maintain an average 70°F temperature in this home at outdoor temperature of _____ °F.

To maximize furnace operating efficiency, and to conserve energy, it is recommended that this home be installed where the outdoor winter design temperature (EP 1524a) is not higher than _____ degrees Fahrenheit.

The above information has been calculated assuming a maximum wind velocity of 15 mph at standard atmospheric pressure.

COMFORT COOLING

Air conditioner manufacturer and model (see list at left)

Certified capacity _____ B.T.U./hr. in accordance with the appropriate air conditioning and refrigeration institute standards.

The central air conditioning system provided in this home has been sized assuming an orientation of the house (with wind of the home facing) _____ On the data plate system is designed to maintain an indoor temperature at 75°F when outside temperatures are _____ °F dry bulb and _____ °F wet bulb.

The temperature to which this home can be cooled will change depending upon the amount of exposure of the windows of this home to the sun's radiant heat. Therefore, the home's heat gains will vary dependent upon its orientation to the sun and any permanent shading provision. Simplified cooling load calculations of existing loads do without heating, window exposures and shading are provided in Chapter 22 of the 1989 edition of the ASHRAE Handbook of Fundamentals.

Information necessary to calculate cooling loads at various locations and orientations is provided on the "Special Comfort Cooling Information" provided with this home.

☐ Air conditioner not provided at factory (Alternate B)

The air distribution system of this home is suitable for the installation of central air conditioning.

The supply air distribution system installed in this home is sized for a manufacturer home sized air conditioning system of up to _____ B.T.U./hr. rated capacity which are certified in accordance with the appropriate air conditioning and refrigeration institute standards, with the air conditions of both air conditioners are rated at 8.3 inch water column static pressure or greater for the cooling air delivered to the manufactured home supply air duct system.

Information necessary to calculate cooling loads at various locations and orientations is provided in the special comfort cooling information provided with pre-manufactured home.

☐ Air conditioning not recommended (Alternate C)

The air distribution system of this home has not been designed in anticipation of its use with a central air conditioning system.

To determine the required capacity of equipment to cool a home efficiently and economically, a cooling load calculation is required. The cooling load is dependent on the orientation, location and the structure of the home. Central air conditioners operate most efficiently and provide the greatest comfort when their capacity closely approximates the calculated cooling load. Each home's air conditioner should be sized in accordance with Chapter 22 of the American Society of Heating, Refrigerating and Air Conditioning Engineers (ASHRAE) Handbook of Fundamentals 1989 edition, once the location and orientation be known.

INFORMATION PROVIDED BY THE MANUFACTURER NECESSARY TO CALCULATE SENSIBLE HEAT GAIN

Walls (exposed windows and doors) _____ °F

Ceilings and roofs of light color _____ °F

Ceilings and roofs of dark color _____ °F

Floors _____ °F

Air ducts in floor _____ °F

Air ducts in ceiling _____ °F

Air ducts installed outside the home _____ °F

The following are the duct areas in this home:

Air ducts in floor _____ sq. ft.

Air ducts in ceiling _____ sq. ft.

Air ducts outside the home _____ sq. ft.

HUD VALUE ZONE MAP

"Data Plate."

The manufacturer home's builder and serial number on the home is found here on the "Data Plate."

The data plate is often found in a closet, utility area or in the kitchen inside a cabinet door.

Wind Zones

- Wind Zone I
 - Androscoggin, Aroostook, Cumberland, Franklin, Kennebec, Knox, Lincoln, Oxford, Penobscot, Piscataquis, Sagadahoc, Somerset, Waldo and York Counties
- Wind Zone II – 100 mph
 - Hancock and Washington Counties

Roof Load Zones

- Roof Loads – 30 psf.
 - Androscoggin, Cumberland, Kennebec, Knox, Lincoln, Sagadahoc, and York Counties
- Roof Loads – 40 psf.
 - Aroostook, Franklin, Hancock, Oxford, Penobscot, Piscataquis, Somerset, Waldo and Washington Counties

Foundations

- Frost protected foundations must be designed according to the manufacturer's installation manual or by a registered engineer or architect.
- Gravel foundations can be utilized for single wide homes only and must be designed by a registered engineer or architect to be site specific.
- No exceptions or grandfathering

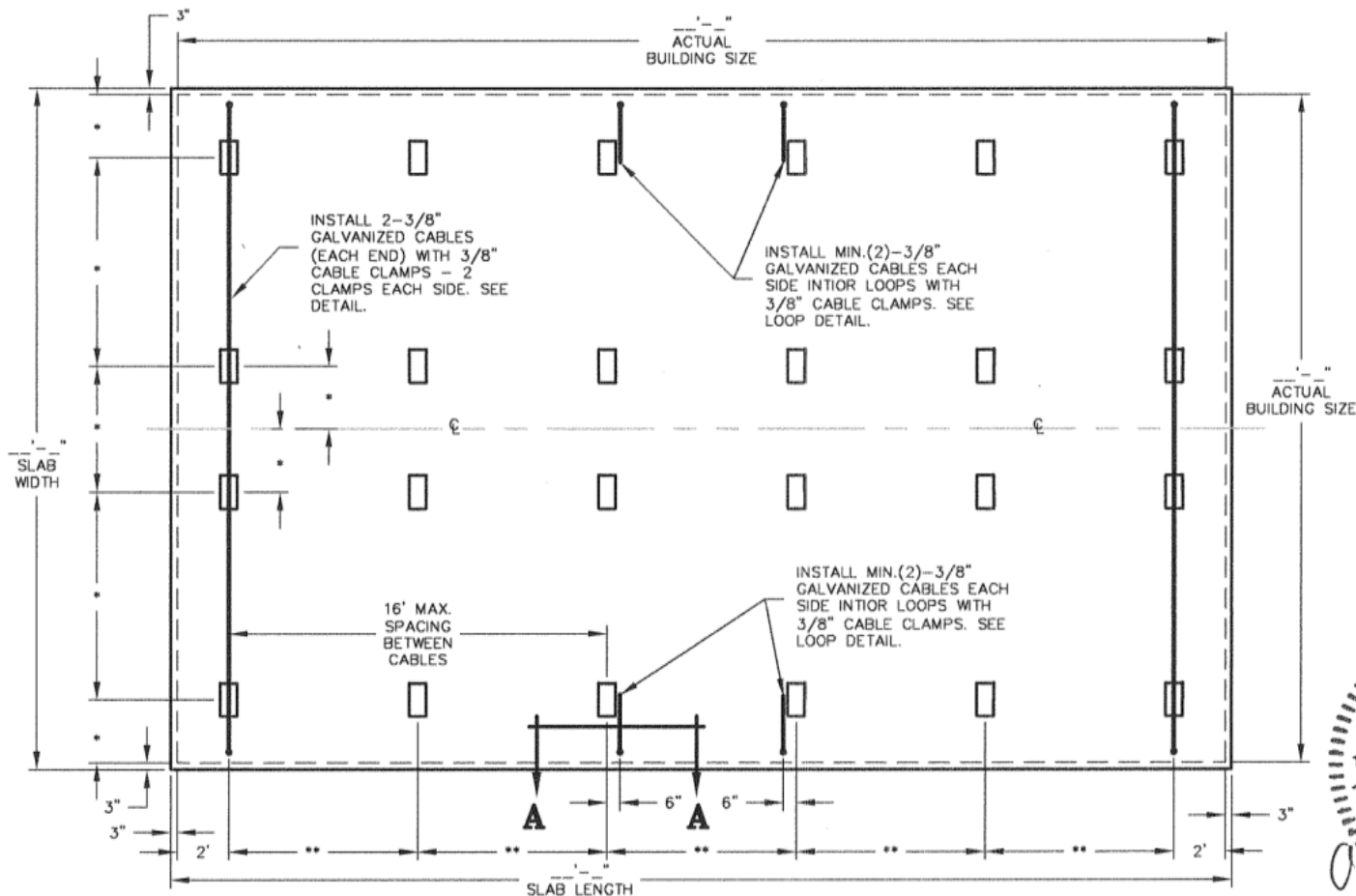
Anchoring Requirements

- Tie-downs must be installed according to the manufacturer's installations manual or by the registered engineer's or architect's design.



Engineer Approved Concrete Slab and Tie-downs

- Example of engineer approved slab and tie-down design that meets the standard:

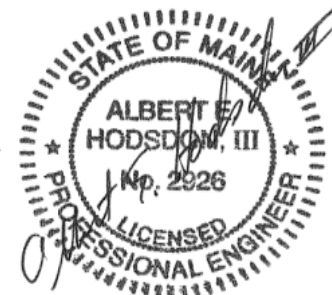


SLAB PLAN

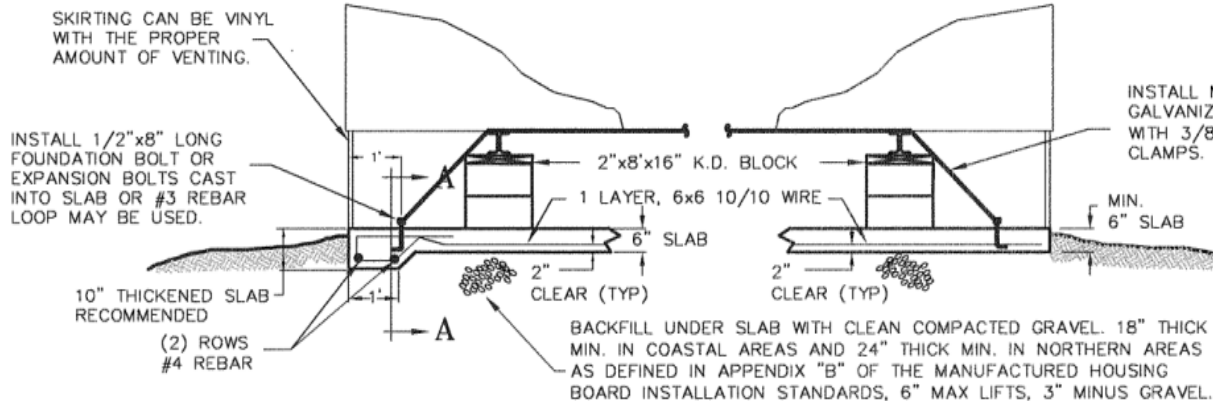
NOTE:
OVERALL DIMENSIONS AND
PENETRATIONS OF SLAB (SEWER,
WATER, ELECTRICAL, ETC.) TO BE
CONFIRMED WITH MANUFACTURER
BEFORE CONSTRUCTION.

* COLUMNS TO BE CONSTRUCTED DIRECTLY
UNDER THE STEEL BEAMS. (CONSULT WITH
BUILDING MANUFACTURER).

** PIERS TO BE SPACED ACCORDING TO
MANUFACTURER'S SPECIFICATIONS
AND 8' MAX.



No.	Revisions	Date	App'd.
MINIMUM H.U.D. SLAB DESIGN			
Seller: _____ Maine			
' - ' x ' - ' SLAB (24" MIN. GRAVEL BASE)			
 AEHodsdon CONSULTING ENGINEERS 10 Common St. Waterville, Me. 04901 (207) 873-5164		Sheet No. 1	
Drawn By: BB	Scale: NOT TO SCALE		
Checked By: <i>AEH</i>	Date: <i>1/4/10</i>		
Approved By: <i>AEH</i>	Date: <i>1/4/10</i>		
File No. TYPICAL.DWG	Project No. TYPICAL	Of 2	



INSTALL MIN. (2)-3/8" GALVANIZED CABLES EACH END WITH 3/8" CABLE CLAMPS - 2 CLAMPS. CABLES MUST BE TIGHT.

NOTES:

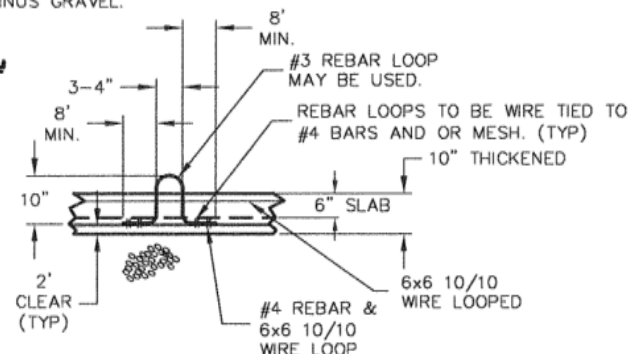
1. THIS SLAB AND TIE DOWN SYSTEM IS SUITABLE FOR USE IN HURRICANE ZONES.
2. CONCRETE IS 3000 psi AT 28 DAYS.

OPTIONAL SKIRTING:

1. PRESSURE TREATED WOOD
2. CONCRETE
3. MASONRY

SLAB AND CONCRETE BLOCK DETAIL

Not To Scale



SECTION A-A

TYPICAL REBAR LOOP TIE DOWN DETAIL

Not To Scale

INSTALL 1/2"x8" LONG FOUNDATION BOLT OR EXPANSION BOLTS CAST INTO SLAB OR #3 REBAR LOOP MAY BE USED.

MIN. 6" SLAB REQUIRED, 10" THICKENED SLAB RECOMMENDED.

INTERIOR LOOP DETAIL

Not To Scale

INSTALL MIN. (2)-3/8" GALVANIZED CABLES EACH SIDE INTERIOR LOOPS WITH 3/8" CABLE CLAMPS - 2 CLAMPS EACH LOOP. CABLES MUST BE TIGHT.

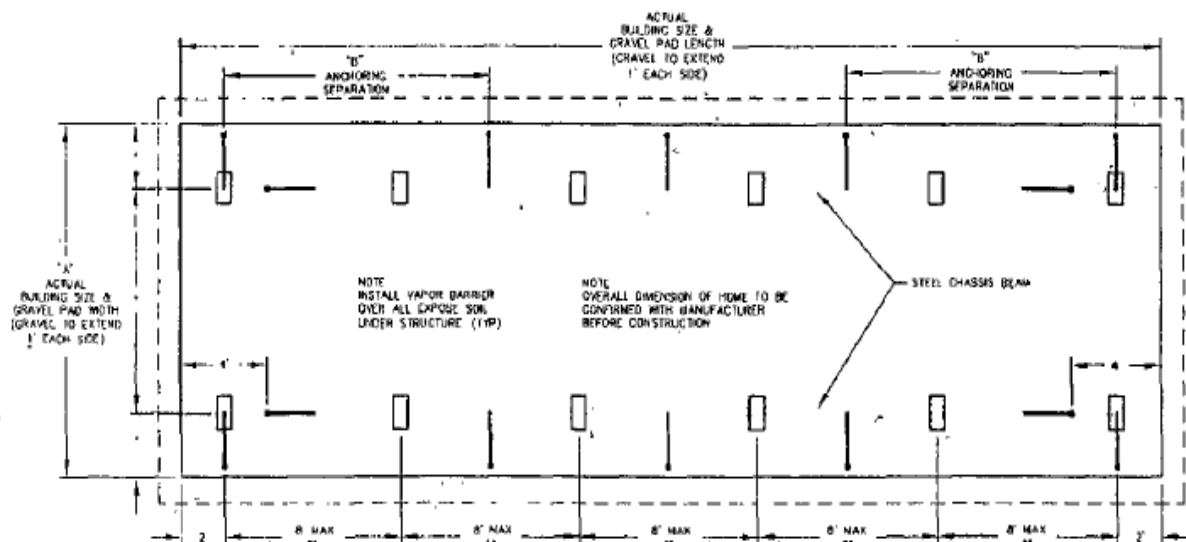
NOTES:

1. THIS SLAB AND TIE DOWN SYSTEM IS SUITABLE FOR USE IN HURRICANE ZONES.
2. CONCRETE IS 3000 psi AT 28 DAYS.
3. OTHER SPECIFICALLY MANUFACTURED ANCHORING SYSTEMS ARE ACCEPTABLE SUCH AS "1100V SERIES" BY OLIVER TECHNOLOGIES INC. MUST FOLLOW MFG INSTALLATION/INSTRUCTIONS.

No.	Revisions	Date	App'd.
<p>MINIMUM H.U.D. SLAB DESIGN</p> <p>DETAILS</p> <p>(24" MIN. GRAVEL BASE)</p>			
<p>© AEHodsdon CONSULTING ENGINEERS 10 Common St. Waterville, Me. 04901 (207) 873-5164</p>			
Drawn By: BB	Scale: NOT TO SCALE		
Checked By: PTH	Date: 1/4/10		
Approved By: PTH	Date: 1/4/10		
File No. TYPICAL.DWG	Project No. TYPICAL	Sheet No. 2	

Engineer Approved Gravel Pad and Tie-downs

- Example of engineer approved gravel pad and tie-down design that meets the standard:



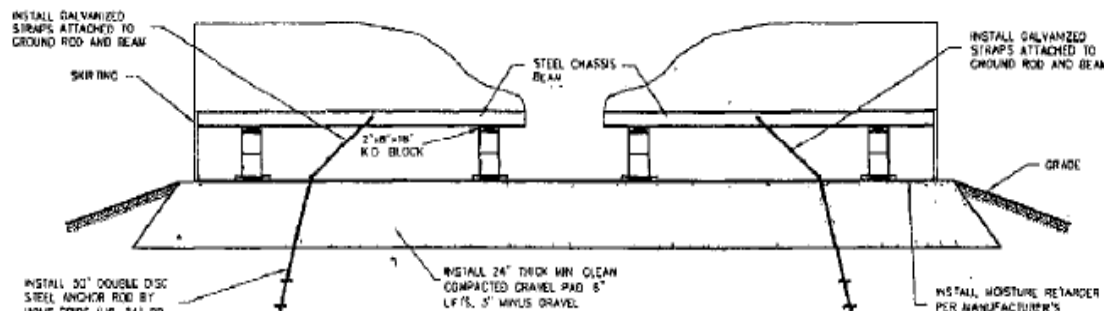
SLAB PLAN

Scale: 3/16" = 1'-0"

NOTES

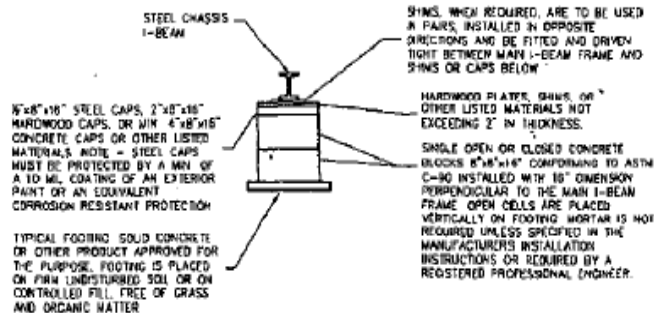
- 1) * PIERS TO BE CONSTRUCTED DIRECTLY UNDER THE STEEL BEAMS (CONSULT WITH BUILDING MANUFACTURER)
- 2) ** PIERS TO BE SPACED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND 8' MAX
- 3) PIERS TO BE SET ON PROPER FOOTINGS

BUILDING WIDTH "A"	ANCHORING SEPARATION "B"
14'	14'
15'	15'
16'	16'



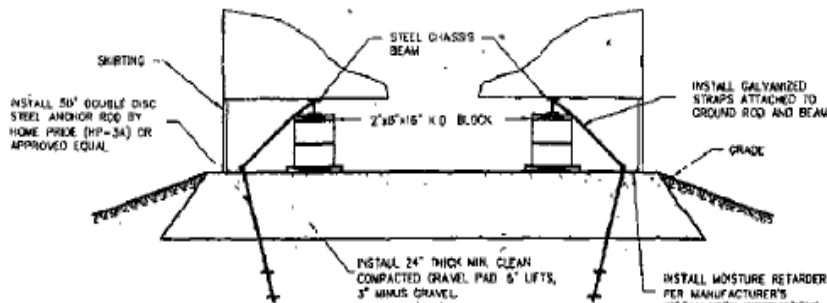
GRAVEL AND CONCRETE BLOCK SIDE DETAIL W/ LONGITUDINAL ANCHORING

Not To Scale



PIER DETAIL

Not To Scale



GRAVEL AND CONCRETE BLOCK DETAIL W/ NEAR BEAM ANCHORING METHOD

Not To Scale

04-10-S



No.	Revisions	Date	App'd
SINGLE WIDE GRAVEL PAD DESIGN HOULTON, MAINE CLAYTON HOMES INC. 700 NORTH ST., P.O. BOX 300			
DETAILS			
AEHodson CONSULTING ENGINEERS 11 BARNES ST., HOULTON, ME 04930 (207) 853-5104		Sheet No. 1	
Drawn By: ss	Scale: as noted	Checked By: ss Date: 5/19/10	
Approved By: ss	Date: 5/19/10	File No. 04-10-S-010 Project No. 04-10-S	

Installation of On-Site Structures

- On-site structures attached to the home shall be installed according to the home manufacturer's written and stamped approval or be designed and approved by a registered engineer or registered architect.
- On-site structures which support their own live load and dead loads and are not attached to the home are not covered by this standard and are under the authority of the local authority having jurisdiction (LAHJ).



Drainage System Requirements

- Drainage piping shall be securely attached to the structure by hangers, clamps, or brackets which provide protection against motion or vibration and shall be supported at intervals not to exceed 4 feet.



Site Drainage Requirements

- All drainage must be diverted away from the home.
- Must slope a minimum of $\frac{1}{2}$ " per foot away from the foundation for the first 10' (5" minimum).

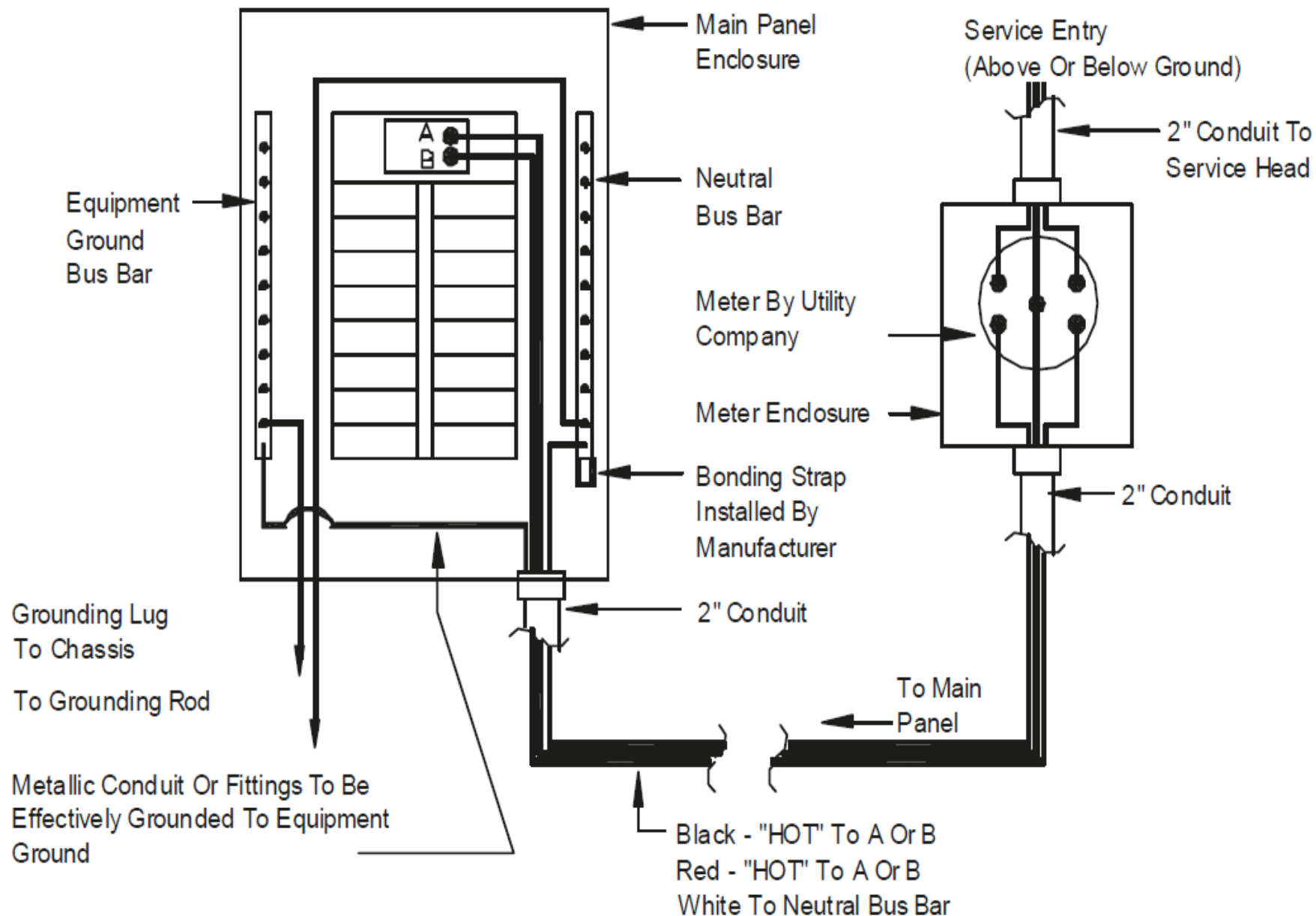






Electrical Requirements

- Service entrance cable shall be protected by a conduit from a minimum of 18 inches below grade to 8 feet above grade, or to the point of entrance into the home.
- Manufacturer's install a section of 2-inch conduit through the floor cavity.









Smoke Alarms & Carbon Monoxide Detectors

- Smoke alarms and carbon monoxide detectors must be functionally tested in accordance with applicable requirements of the smoke alarm and carbon monoxide detectors manufacturer instructions.

Plumbing Permit Fees

- No per fixture fee.
- New HUD-code home – factory components: \$40 fee
- Relocated HUD-code homes shall be considered as new conventional stick-built structures and a plumbing fixture fee shall be charged. This does not apply to new model homes that have not been lived in upon relocation to the site of the first retail purchaser.

PLUMBING APPLICATION

Maine DHHS/CDC – Division of Environmental & Community Health

PROPERTY ADDRESS				ISSUING MUNICIPAL OFFICE			
City, Town, or Plantation				Town/City			
Street/Subdivision Lot #				Permit #		Total Fee \$	
PROPERTY OWNER INFORMATION				Date Issued		Double Fee	
Name (Last, First)							
Applicant Name (Last, First)				Local Plumbing Inspector Signature		License #	
OWNER/APPLICANT MAILING ADDRESS				FEES		State \$	
Street				LOCATION		Map #	
City						Lot #	
State		Zip Code		Internal plumbing fixtures and piping may not be installed until a permit is issued by the Local Plumbing Inspector. The permit authorizes the owner or installer to install the plumbing system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.			
OWNER/APPLICANT STATEMENT				CAUTION: INSPECTION REQUIRED I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules Application.			
I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector(s) to deny a permit.							
Signature of Owner/Applicant		Date		LPI Signature		Date (Rough-In)	
Copy:		Property Owner <input type="checkbox"/>		Town <input type="checkbox"/>		State <input type="checkbox"/>	
						Date (Final)	

PERMIT INFORMATION							
This application is for: New Plumbing <input type="checkbox"/> Relocated Plumbing <input type="checkbox"/>		Type of structure to be served: Single Family Residence <input type="checkbox"/> Modular or Mobile Home <input type="checkbox"/> Multiple Family Dwelling <input type="checkbox"/> Other (specify below) <input type="checkbox"/>		Plumbing to be installed by: Master Plumber <input type="checkbox"/> License # <input type="text"/> Oil Burner Installer <input type="checkbox"/> License # <input type="text"/> Mfd. Housing Rep. <input type="checkbox"/> License # <input type="text"/> Public Utility Rep. <input type="checkbox"/> License # <input type="text"/> Property Owner <input type="checkbox"/>			

Column 1 – Hook-Up & Relocation		Column 2 – Fixtures		Column 3 – Fixtures		State of Maine Department of Health and Human Services/ Center for Disease Control and Prevention Environmental & Community Health – Subsurface Wastewater 286 Water Street State House Station 11 Augusta, ME 04333 207-287-2070 HHE-211 Revised 7/24/2018
Maximum 1 Hook-Up		Type of Fixture		Qty		
Hook-Up (a) <input type="checkbox"/> <i>Hook-up to public sewer in those cases where the connection is not regulated and inspected by the local sanitary district.</i>		Hosebib/Sillcock				
		Floor Drain				
		Urinal				
		Drinking Fountain				
Hook-Up (b) <input type="checkbox"/> <i>Hook-up to an existing subsurface wastewater disposal system.</i>		Indirect Waste				
		Treatment Softener, Filter, etc.				
		Grease/Oil Separator				
Piping Relocation <input type="checkbox"/> <i>Relocation of sanitary lines, drains, and piping without new fixtures.</i>		Roof Drain				
		Bidet				
		Other: <input type="text"/>				

Total Column 1 <input type="text"/>		+	Total Column 2 <input type="text"/>		+	Total Column 3 <input type="text"/>		=	Enter Total Fixtures / Hook-Ups Below				
PERMIT TRANSFER ONLY <input type="checkbox"/> \$10.00											Total Fixtures / Hook-Ups		<input type="text"/>
											Per-Fixture Fee		<input type="text"/>
											TOTAL PERMIT FEE		<input type="text"/>

Plumbing/Subsurface Wastewater Disposal System Permit Fee Schedule

Disposal System Components	Fee	State Share (25%)	DEP Surcharge
1. Complete Non-Engineered System	\$250.00	\$62.50	\$15.00
2. Primitive / Limited System (graywater & alt toilet)	\$100.00	\$25.00	\$15.00
3. Alternative Toilet	\$50.00	\$12.50	NA
4. Non-Engineered Treatment Tank	\$150.00	\$37.50	NA
5. Holding Tank	\$100.00	\$25.00	\$15.00
6. Non-Engineered Disposal Field	\$150.00	\$37.50	NA
7. Separated Laundry System	\$35.00	\$8.75	\$15.00
8. Complete Engineered System	\$200.00	\$50.00	NA
9. Engineered Treatment Tank (only)	\$80.00	\$20.00	NA
10. Engineered Disposal Field (only)	\$150.00	\$37.50	NA
11. Pre-Treatment	NA	NA	NA
12. Miscellaneous Components	\$30.00	\$7.50	NA
First-Time System Variances	\$20.00	\$5.00 *	NA
Replacement System Variances	\$20.00	NA	NA
Seasonal Conversion Permit	\$50.00	\$12.50	NA

Internal Plumbing Permits

Minimum fee, includes up to 4 fixtures/hook-ups	\$40.00	\$10.00
Individual fixtures, each, over 4	\$10.00	\$2.50
Mobile or Modular Home – factory components	\$40.00	\$2.50 ^{\$10.00}
Hook up to public sewer	\$10.00	\$2.50
Hook up to existing subsurface system	\$10.00	\$2.50
Piping relocation with no new fixtures	\$10.00	\$2.50
Permit transfer	\$10.00	\$2.50

* The State only receives a 25% share of variance fees for *first-time system variances requiring state and local plumbing inspector approval.*

Also included in this packet:

- Tips and reminders for filling-out and submitting permits and fees to the Subsurface Wastewater Program
- Internal Plumbing Permit Application HHE-211 (blank)
- Subsurface Wastewater Disposal System Permit Application HHE-200 (blank)
- Subsurface Wastewater Disposal System Variance Request HHE-204 (blank)

Relocation of HUD-Code Homes

- When a HUD-code home is relocated, the local enforcement agency must accept the home in accordance with these rules.
 - A home which has not been modified or altered in any way and contains the HUD certification label and HUD data plate may not be required to conform with the current code.
 - A home which does not contain the HUD certification label and HUD data plate is subject to the Manufactured Housing Board's Health and Safety Standards.

Pre-Occupancy Inspection Program

Chapter 890, Subchapter A(VII)

- Effective April 1, 2010:
- Requires an inspection program for pre-occupancy inspections.
- Received approval from HUD for our inspection program.
- Requires that 30% of new homes installed on private lots and in communities to be inspected.

Pre-Occupancy Inspections

- HUD Pre-Occupancy Inspection list includes:
 - Maine seals and manufacturer data plate information
 - Exterior finish
 - Site preparation
 - Foundation requirements
 - Engineered tie-down systems
 - Appliance venting and crawlspace ventilation
 - Ductwork, plumbing and fuel supply systems
 - Interior finish



STATE OF MAINE
DEPARTMENT OF PROFESSIONAL
AND FINANCIAL REGULATION
OFFICE OF PROFESSIONAL AND OCCUPATIONAL REGULATION
MANUFACTURED HOUSING BOARD
35 STATE HOUSE STATION
AUGUSTA, MAINE
04333-0035
TTY/HEARING IMPAIRED (888) 557-6690

Paul R. LePage
GOVERNOR

Anne L. Head
DIRECTOR
Robert LeClair
EXECUTIVE DIRECTOR

HUD PRE-OCCUPANCY INSPECTION FORM

Date of Inspection _____ MHB Inspection Seal # _____
Name of Consumer _____
Address _____

Description	Yes	No	Comments	
Maine New Home Warranty Seal				
Maine Installation Warranty Seal				
HUD Data Plate			Wind Zone	Roof Load
HUD Label #				
Manufacturer Serial #				
Date of Manufacture				
Manufacturer				
Dealer				
Installer				
Date of Installation				
Mfg Installation Instructions				

OFFICE PHONE (207) 624-8612
EXECUTIVE DIRECTOR (207) 624-8678
ROBERT.V.LECLAIR@MAINE.GOV

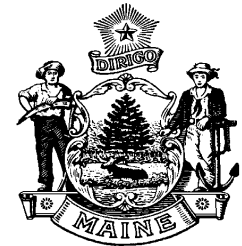


PHYSICAL LOCATION: 76 NORTHERN AVENUE,
GARDINER, MAINE 04345

FAX: (207) 624-8637

Pre-Occupancy Inspection Seal

MHB # 321



This seal Certifies compliance with the
HUD Installation Standard

Inspector

Date

Installation Standards for Used HUD Homes

Chapter 900

- Effective April 1, 2010:
- A properly prepared gravel pad is allowed for a single-wide home only.
- Tie-downs are required for rental homes in Hancock and Washington Counties.
- Homes shall be leveled so that all doors and windows operate as intended and plumbing drains function in a safe and sanitary manner.

Health & Safety Standards for Used HUD Homes

- Chapter 910
- Chapter 920
- Chapter 930
- Chapter 940
- Chapter 950
- Chapter 960
- Chapter 970



Space Requirements

Chapter 910

- Habitable rooms shall be provided with exterior windows and/or doors
- Minimum ceiling height of 6'-6"
- Minimum of two exterior doors
- Means of egress for rooms designed for sleeping purposes

Fire Safety

Chapter 920

- Fire detection equipment
- Flame spread
- Kitchen cabinet protectors
- Carpeting

Body and Frame Requirement

Chapter 930

- Roof loads
 - Roofs added after construction are to be inspected to determine that the roof and home can withstand snow loads or wind uplifts
- Floors will be of a solid construction
- Exterior coverings shall be of moisture and weather resistant materials

Thermal Protection

Chapter 940

- Minimum insulation requirements
 - Walls: R-11
 - Roof: R-14
 - Floor: R-11

Plumbing Systems

Chapter 950

- This chapter is intended to assure that water supply, drain, waste and vent systems are satisfactorily functioning and provide for health and safety under all conditions.
- A State of Maine licensed plumber shall inspect and verify that the conditions of this chapter are met.

Heating and Fuel Burning Systems

Chapter 960

- This chapter covers the heating and fuel burning equipment installed within, on, or external to a manufactured home.
- A person holding a master license from the State of Maine Fuel Board shall inspect and certify that the heating and fuel system are in a safe condition and meets NFPA-31 as adopted by the Board.

Electrical System

Chapter 970

- This chapter covers the electrical conductors and equipment installed within or on a manufactured home and the conductors that connect the home to the supply of electricity.
- A person holding a master license from the State of Maine Electricians' Examining Board shall inspect and certify that the electrical system is accessible, including the wiring of the smoke detector, is safe and meets the National Electrical Code at the time the home was constructed.

Questions & Answers

- Manufactured Housing Board
- 35 State House Station
- Augusta, ME 04333-0035
- Office Telephone: (207) 624-8612
- Website: www.maine.gov/professionallicensing